A SINGLE FAMILY RESIDENCE

CASTILLO RESIDENCE

FLORIDA

NOTES

BASED ON THE FLORIDA RESIDENTIAL BUILDING CODE 2014

TO THE BEST OF THIS ENGINEER'S INTERPRETATION, THESE DRAWINGS MEET THE REQUIREMENTS OF CHAPTER 3 OF THE FLORIDA RESIDENTIAL BUILDING CODE 2014 EDITION, AS DEVELOPED AND MAINTAINED BY THE FLORIDA BUILDING COMMISSION, AND ADMINISTERED AND ENFORCED BY LOCAL JURISDICTIONS.

CONSTRUCTION NOTES

CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
THE FLORIDA BUILDING CODE 2014 EDITION, IS APPLICABLE TO THIS PROJECT
ALL CONSTRUCTION SHALL BE BRACED AND SHORED BY THE CONTRACTOR AS REQUIRED TO SAFELY PERFORM THE WORK
THERE SHALL BE NO WOOD STAKES USED IN ANY FOUNDATION OR SLAB AREA FOR STAKING PLUMBING, REINFORCING OR FOR ANY OTHER USE IN THESE AREAS.

ROOF COVERINGS

ALL ROOF COVERINGS SHALL BE NOTED ON PLANS AND COMPLY WITH CHAPTER 9
A PACKET CONTAINING ALL MATERIALS FOR UNDER LAYMENT, FLASHING, AND COVERINGS AND ALL MANUFACTURERS INSTALLATION REQUIREMENTS SHALL BE FURNISHED BY THE GENERAL CONTRACTOR AS AN ATTACHMENT TO THIS PLAN SET AT THE TIME OF APPLICATION FOR PERMIT WHEN REQUIRED BY THE PERMITTING AUTHORITY

WINDOWS AND DOORS

ALL WINDOWS AND DOORS SHALL BE DESIGNED TO MEET AT LEAST THE WIND PRESSURES SHOWN ON THESE PLANS
THE MANUFACTURERS CERTIFICATION AND INSTALLATION INSTRUCTIONS SHALL BE FURNISHED BY THE GENERAL CONTRACTOR AS AN ATTACHMENT TO THIS PLAN SET AT TIME OF APPLICATION FOR PERMIT
IF STRUCTURAL WOOD BUCKS ARE TO BE USED, THE BUCK SHALL BE ATTACHED TO THE SUBSTRATE PER THESE PLANS AND THE ATTACHMENT TO THE BUCK SHALL BE PER THE MANUFACTURER'S INSTALLATION INSTRUCTIONS
WINDOWS ARE SIZED W/NOMINAL SIZES. CONTRACTOR SHALL VERIFY EGRESS W/WINDOW MANUFACTURER FOR CODE COMPLIANCE.

STAIR AND RAILING NOTES

STAIR SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION R311.7
HANDRAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION R311.7.8
GUARDRAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION R312

MEANS OF EGRESS

MEANS OF EGRESS SHALL COMPLY WITH THE MINIMUM REQUIREMENTS OF CHAPTER 3 SECTION R311

MECHANICAL AND HVAC

ALL MECHANICAL SYSTEMS SHALL COMPLY WITH THE MINIMUM REQUIREMENTS OF CHAPTER 13 AND 14
ENERGY CALCULATIONS FOR HEATING AND COOLING CAPACITIES SHALL BE FURNISHED BY THE GENERAL CONTRACTOR AS AN ATTACHMENT TO THIS PLAN SET AT THE TIME OF APPLICATION FOR PERMIT

TERMITE

SECTIONR318 PROTECTION AGAINST TERMITES

TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITICIDES, INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD, OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE A PREVENTIVE TREATMENT TO NEW CONSTRUCTION (SEE SECTION 202, REGISTERED TERMITICIDE). UPON COMPLETION OF THE APPLICATION OF THE TERMITE PROTECTIVE TREATMENT, A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."

NOTES:

1) METHOD OF TREATMENT SHALL BE APPROVED BY THE GOVERNING JURISDICTION "LIQUID BORATE OR BOR-A-COR" PRODUCT METHODS MUST BE DETERMINED AT PERMIT STAGE AND PRODUCT APPROVAL DATA MUST BE ON FILE WITH THE BUILDING DEPARTMENT.

2) PRESSURE TREATED LUMBER THAT HAS BEEN CUT OR DRILLED THAT EXPOSES UNTREATED PORTIONS OF WOOD ARE REQUIRED TO BE FIELD TREATED TO PREVENT INSECT INFESTATION.

3) BORATE APPLIED TO ALL FRAME MEMBERS WITHIN 24" A.F.F.

STUCCO

ASTM: C 1063 - 06

7.8.2 METAL LATH SHALL BE LAPPED $\frac{1}{2}$ IN. (12.7mm) AT THE SIDES, OR NEST THE EDGE RIBS. WIRE LATH SHALL BE LAPPED ONE MESH AT THE SIDES AND THE ENDS. LAP METAL LATH 1 IN. (25mm) AT ENDS. WHERE END LAPS OCCUR BETWEEN THE FRAMING MEMBERS, THE ENDS OF THE SHEETS OF ALL METAL PLASTER BASES SHALL BE LACED OR WIRE TIED WITH 0.0475-IN. (1.21-mm) GALVANIZED, ANNEALED STEEL WIRE.

7.10.2.1 LATH SHALL BE ATTACHED TO FRAMING MEMBERS WITH ATTACHMENTS SPACED NOT MORE THAN 7 IN. (178mm) ON CENTERS ALONG SUPPORTS.
7.10.2.2 DIAMOND-MESH EXPANDED METAL LATH, FLAT-RIB EXPANDED METAL LATH, AND WIRE LATH SHALL BE ATTACHED TO HORIZONTAL WOOD FRAMING MEMBERS WITH 1 $\frac{1}{2}$ IN. (38.1-mm) ROOFING NAILS DRIVEN FLUSH WITH THE PLASTER BASE AND ATTACHED TO VERTICAL WOOD FRAMING MEMBERS WITH 6d COMMON NAILS, OR 1-IN. (25mm) ROOFING NAILS DRIVEN TO A PENETRATION OF NOT LESS THAN $\frac{3}{4}$ IN. (19.1mm), OR 1-IN. (25-mm) WIRE STAPLES DRIVEN FLUSH WITH THE PLASTER BASE. STAPLES SHALL HAVE CROWNS NOT LESS THAN $\frac{3}{4}$ IN. (19.05mm) AND SHALL ENGAGE NOT LESS THAN THREE STRANDS OF LATH AND PENETRATE THE WOOD FRAMING MEMBERS NOT LESS THAN $\frac{3}{4}$ IN. (19.05mm). WHEN METAL LATH IS APPLIED OVER SHEATHING, USE FASTENERS THAT WILL PENETRATE THE STRUCTURAL MEMBERS NOT LESS THAN $\frac{3}{4}$ IN. (19mm).

R703.6 EXTERIOR PLASTER.
INSTALLATION OF THESE MATERIALS SHALL BE IN COMPLIANCE WITH ASTM C 926 AND ASTM C 1063 AND THE PROVISIONS OF THIS CODE.
R703.6.1 LATH.
ALL LATH AND LATH ATTACHMENTS SHALL BE OF CORROSION-RESISTANT MATERIAL. EXPANDED METAL OR WOVEN WIRE LATH SHALL BE ATTACHED WITH 1 $\frac{1}{2}$ INCH LONG(38mm), 11 GAGE NAILS HAVING A $\frac{7}{16}$ INCH (11.1) HEAD, OR $\frac{7}{8}$ INCH LONG (22.2mm), 16 GAGE STAPLES, SPACED AT NO MORE THAN 6 INCHES (152mm), OR AS OTHERWISE APPROVED.
R703.6.2 PLASTER.
PLASTERING WITH PORTLAND CEMENT PLASTER SHALL BE NOT LESS THAN THREE COATS WHEN APPLIED OVER METAL LATH OR WIRE LATH AND SHALL BE NOT LESS THAN TWO COATS WHEN APPLIED OVER MASONRY, CONCRETE, PRESSURE-PRESERVATIVE TREATED WOOD OR DECAY RESISTANT WOOD AS SPECIFIED IN SECTION R317.1 OR GYPSUM BACKING. IF THE PLASTER SURFACE IS COMPLETELY COVERED BY VENEER OR OTHER FACING MATERIAL OR IS COMPLETELY CONCEALED, PLASTER APPLICATION NEED BE ONLY TWO COATS, PROVIDED THE TOTAL THICKNESS IS AS SET FORTH IN TABLE R702.1 (1).
ON WOOD-FRAME CONSTRUCTION WITH AN ON-GRADE FLOOR SLAB SYSTEM, EXTERIOR PLASTER SHALL BE APPLIED TO COVER, BUT NOT EXTEND BELOW, LATH, PAPER AND SCREED.
THE PROPORTION OF AGGREGATE TO CEMENTITIOUS MATERIALS SHALL BE AS SET FORTH IN TABLE R702.1 (3).
R703.6.2.1 WEEP SCREEDS.
A MINIMUM 0.019-INCH (0.5mm)(NO. 26 GALVANIZED SHEET GAGE), CORROSION-RESISTANT WEEP SCREED OR PLASTIC WEEP SCREED, WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3 $\frac{1}{2}$ INCHES (89mm) SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS IN ACCORDANCE WITH ASTM C 926. THE WEEP SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES (102mm) ABOVE THE EARTH OR 2 INCHES (51mm) ABOVE PAVED AREAS AND SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER-RESISTANT BARRIER SHALL LAP THE ATTACHMENT FLANGE. THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE WEEP SCREED.

GENERAL

1. STRUCTURE IS SUBJECT TO FIELD VERIFICATION AND CHANGES. ANY CHANGES THAT ARE DEEMED NECESSARY ARE TO BE REPORTED TO E.O.R. BEFORE MAKING SAID CHANGES.
2. ROOF DRAINAGE SHALL BE PROPERLY AND POSITIVELY ACCOMMODATED. FLASHING AND CANT STRIPS SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS AND ACCEPTED PRACTICE.
3. PROVIDE FLASHING OVER ALL EXPOSED WINDOW AND DOOR HEADS IN WOOD FRAME CONSTRUCTION, PER MANUFACTURER SPECIFICATIONS.
4. DO NOT SCALE DRAWINGS IF THERE ARE WRITTEN DIMENSIONS. WRITTEN DIMENSIONS ARE TO TAKE PRECEDENCE. DIMENSIONS AND CONSTRUCTION DETAILS MAY VARY DUE TO, SUBSTITUTION, FIELD CONDITIONS, CONSTRUCTION TECHNIQUES, AVAILABILITY OR OTHER VARIABLES.
5. THESE DRAWINGS ARE NOT INTENDED TO COVER ALL CONDITIONS.FIELD DECISIONS MAY NEED TO BE MADE BY E.O.R. OR D.O.R. IF THIS SITUATION ARISES, PLEASE CONTACT E.O.R. OR D.O.R. AT PHONE NUMBER IN TITLEBLOCK. CONTRACTOR SHALL ALLOW FOR MINOR ADJUSTMENTS.
6. ANY CHANGES TO FLOOR PLAN OR ELEVATIONS MUST BE REPORTED TO E.O.R. OR D.O.R. FOR APPROVAL.
7. PHIL KEAN DESIGN GROUP SHALL NOT BE HELD LIABLE FOR ANY FIELD CHANGES MADE THAT ARE NOT REPORTED TO PKDG PRIOR TO MAKING SAID CHANGES.

INDEX

DESIGNER:

PROJECT:

MODENA

PLAN HISTORY

DATE	DESC.:
10-03-16	PLAN SALE
10-08-16	REVISIONS

SHEET DATA:

DESIGNED BY:

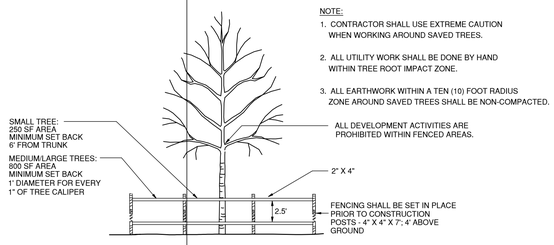
DRAWN BY:

SHEET DESC.:

COVERSHEET

SHEET

CS



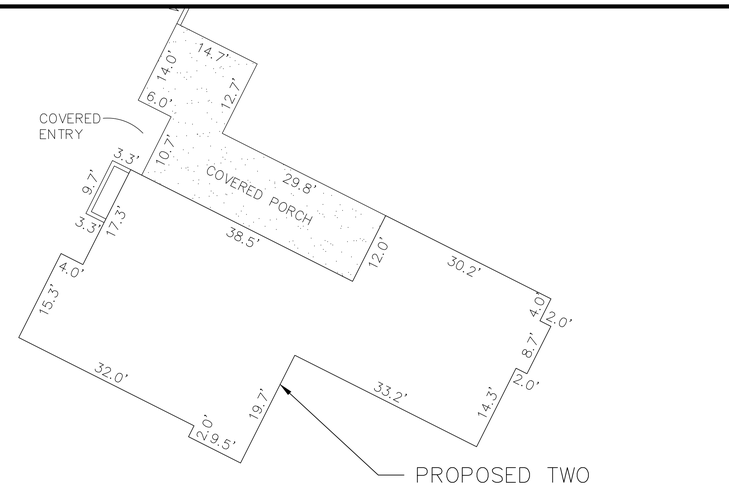
NOTE:
1. CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING AROUND SAVED TREES.
2. ALL UTILITY WORK SHALL BE DONE BY HAND WITHIN TREE ROOT IMPACT ZONE.
3. ALL EARTHWORK WITHIN A TEN (10) FOOT RADIUS ZONE AROUND SAVED TREES SHALL BE NON-COMPACTED.

NOTE: FENCING SHALL BE AT LEAST 4' ABOVE GROUND AND MIN. OF 3' BELOW GRADE.

EACH TREE PROTECTION AREA SHALL HAVE A MINIMUM OF TWO SIGNS ATTACHED TO THE FENCE WHICH SHALL FACE TO THE EXTERIOR OF THE TREE PROTECTION AREA.

TREE PROTECTION DETAIL

N.T.S.



DETAIL
1"=30'

SITE PLAN

SCALE: 1" = 20'-0"

LEGAL DESCRIPTION (AS FURNISHED)

LOT 1, WANDERING PONDS, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 62, PAGES 56-61, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.

DESIGNER:

PROJECT:

MODENA

PLAN HISTORY

DATE	DESC.:
10-03-16	PLAN SALE
10-08-16	REVISIONS

SHEET DATA:

DESIGNED BY:

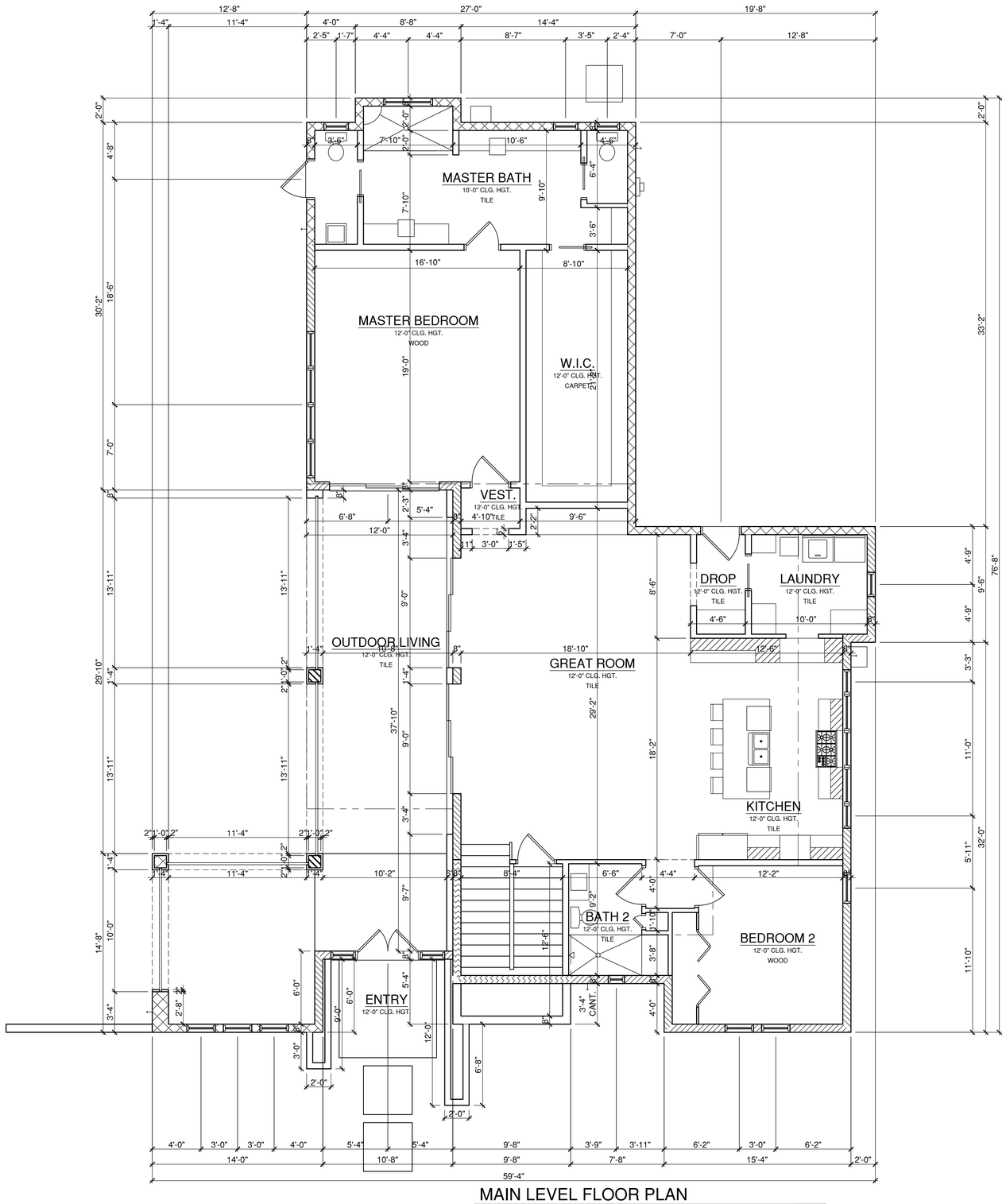
DRAWN BY:

SHEET DESC.:

SITE PLAN

SHEET

AS



MAIN LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

DESIGNER:

PROJECT:

MODENA

PLAN HISTORY

DATE	DESC.:
10-03-16	PLAN SALE
10-08-16	REVISIONS

SHEET DATA:

DESIGNED BY:

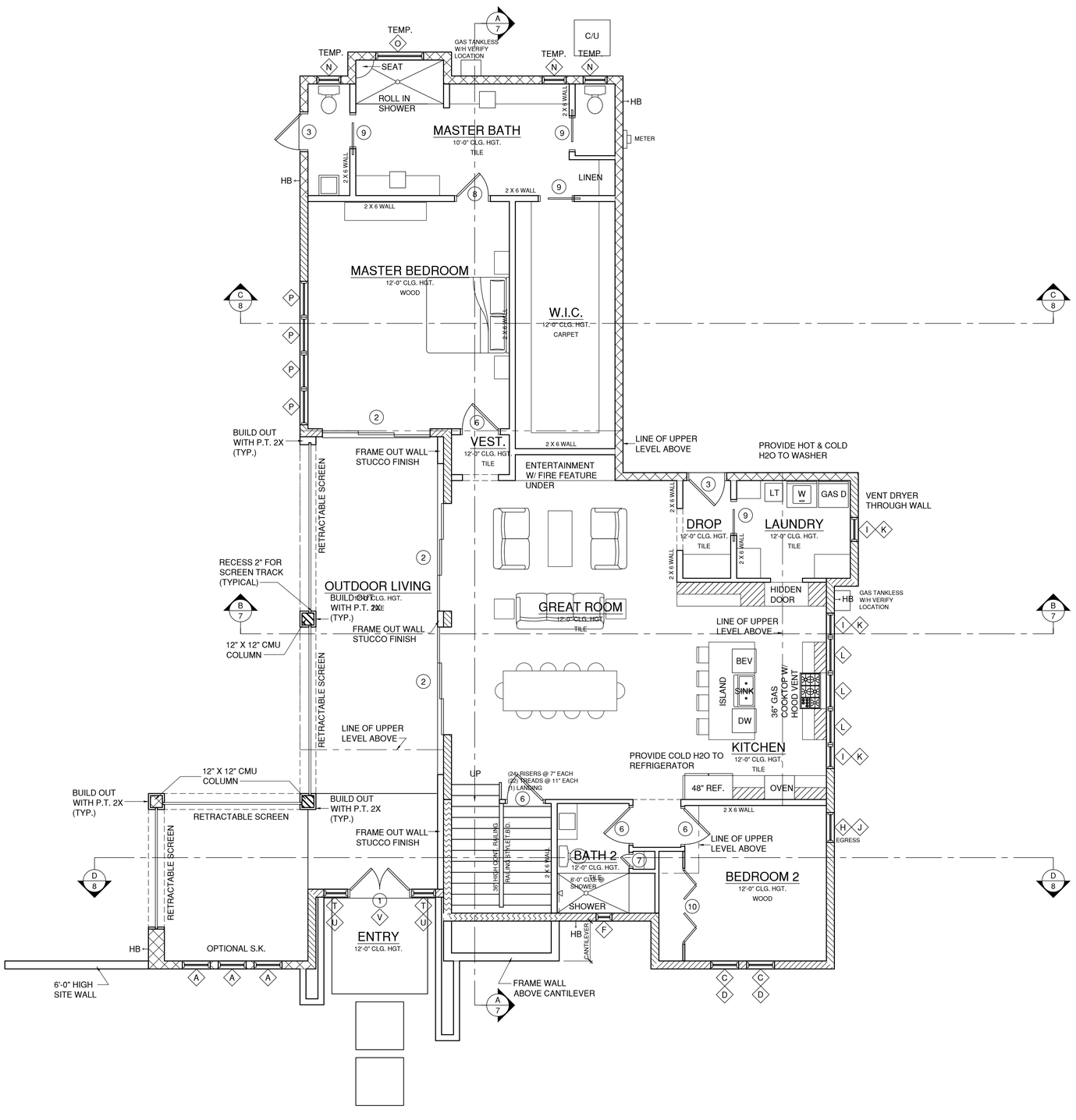
DRAWN BY:

SHEET DESC.:

MAIN LEVEL FLOOR PLAN DIMENSIONED

SHEET

1



MAIN LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE				PGT VINYL LOW E
TAG	WIDTH	HGT.	QTY.	NOTES
A	2'-4"	2'-6"	3	FIXED GLASS
C	3'-0"	6'-0"	2	FIXED GLASS
D	2'-4"	2'-0"	4	FIXED GLASS TRANSOM
E	2'-4"	9'-8"	2	FIXED GLASS
F	1'-4"	3'-0"	3	CASEMENT TEMPERED
G	1'-4"	3'-0"	1	FIXED GLASS
H	2'-6"	6'-0"	1	CASMENT EGRESS
I	2'-0"	6'-0"	3	CASEMENT
J	2'-6"	2'-0"	1	FIXED GLASS TRANSOM
K	2'-0"	2'-0"	3	FIXED GLASS TRANSOM
L	3'-0"	2'-0"	8	FIXED GLASS TRANSOM
M	3'-0"	5'-0"	6	CASMENT EGRESS
N	2'-0"	3'-0"	3	CASEMENT TEMPERED
O	4'-0"	3'-0"	1	FIXED GLASS TEMPERED
P	3'-0"	10'-0"	4	FIXED GLASS HEAD @ 10'-0"
R	6'-0"	5'-0"	1	FIXED GLASS
S	6'-0"	2'-0"	1	FIXED GLASS TRANSOM
T	2'-0"	8'-0"	2	FIXED GLASS SIDE LITE
U	2'-0"	1'-10"	2	FIXED GLASS TRANSOM
V	5'-0"	1'-10"	1	FIXED GLASS TRANSOM

DOOR SCHEDULE				
EXTERIOR				
TAG	WIDTH	HGT.	QTY.	NOTES
1	5'-0"	8'-0"	1	DOUBLE ENTRY DOOR
2	9'-0"	10'-0"	3	3 PANEL SGD PGT 470 STACK
3	3'-0"	8'-0"	2	SWING DOOR
4	6'-0"	8'-0"	1	(2) PANEL SLIDING GLASS DR.
15	5'-0"	8'-0"	1	(2) PANEL SLIDING GLASS DR.

INTERIOR				
TAG	WIDTH	HGT.	QTY.	NOTES
6	3'-0"	8'-0"	5	TO BE SELECTED BY OWNER
7	1'-0"	8'-0"	1	SWING DOOR
8	2'-8"	8'-0"	3	TO BE SELECTED BY OWNER
9	2'-8"	8'-0"	4	POCKET DOOR
10	6'-0"	8'-0"	1	BI-FOLD
11	2'-6"	8'-0"	5	TO BE SELECTED BY OWNER
12	2'-0"	8'-0"	1	TO BE SELECTED BY OWNER
13	4'-0"	8'-0"	4	DOUBLE SWING DOOR

WALL LEGEND

	10'-0" BLOCK WALL
	12'-0" BLOCK WALL
	5'-4" BLOCK WALL
	2X INTERIOR WALL

MAIN LEVEL

A/C:	2214
ENTRY:	84
OUTDOOR LIVING:	656

SECOND LEVEL

A/C:	1350

TOTALS

A/C:	3564
ENTRY:	84
OUTDOOR LIVING:	656
TOTAL UNDER ROOF:	4304
BALCONY:	366

DESIGNER:

PROJECT:

MODENA

PLAN HISTORY

DATE	DESC.:
10-03-16	PLAN SALE
10-06-16	REVISIONS

SHEET DATA:

DESIGNED BY:

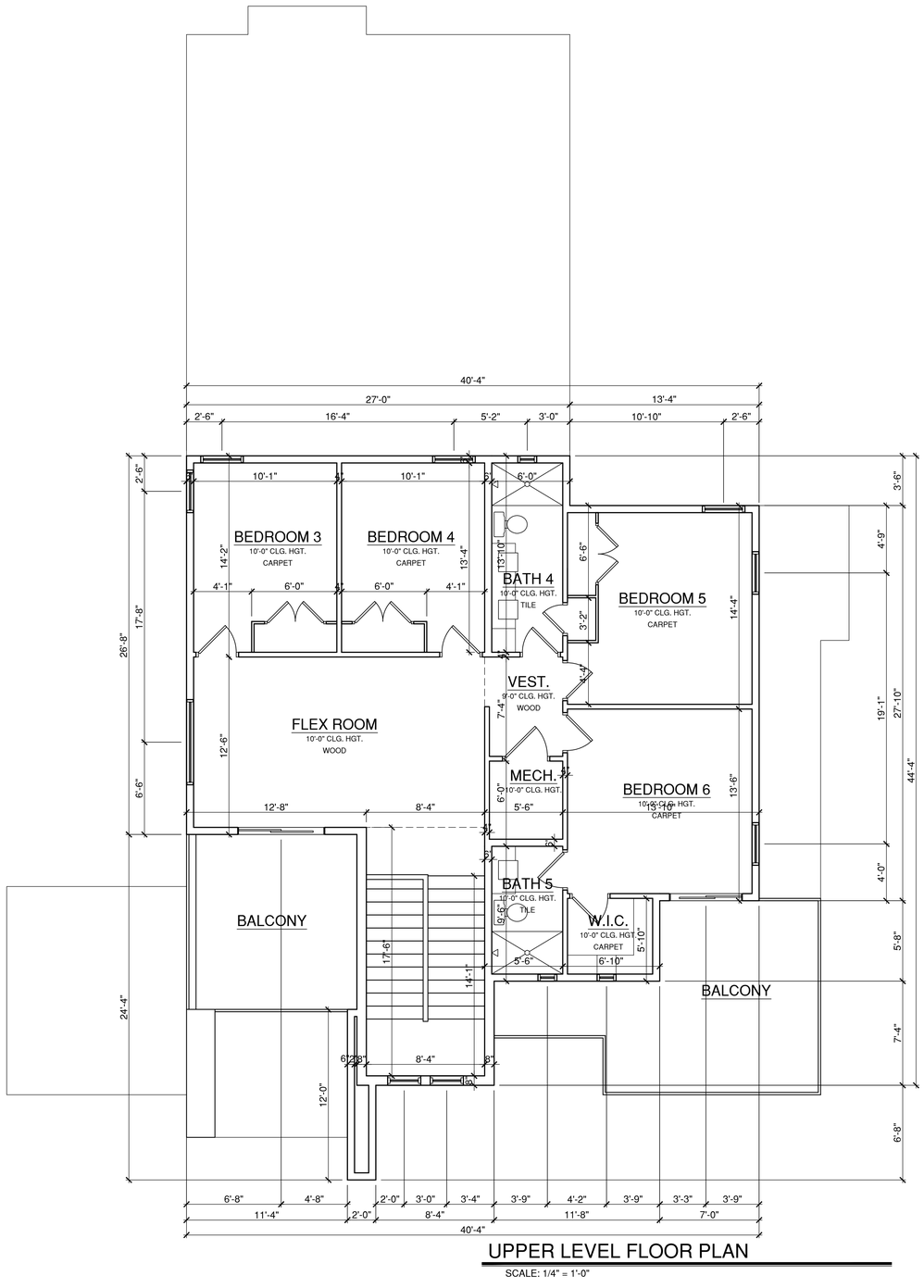
DRAWN BY:

SHEET DESC.:

MAIN LEVEL FLOOR PLAN NOTED

SHEET

1.1



UPPER LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

DESIGNER:

PROJECT:

MODENA

PLAN HISTORY

DATE	DESC.:
10-03-16	PLAN SALE
10-06-16	REVISIONS

SHEET DATA:

DESIGNED BY:

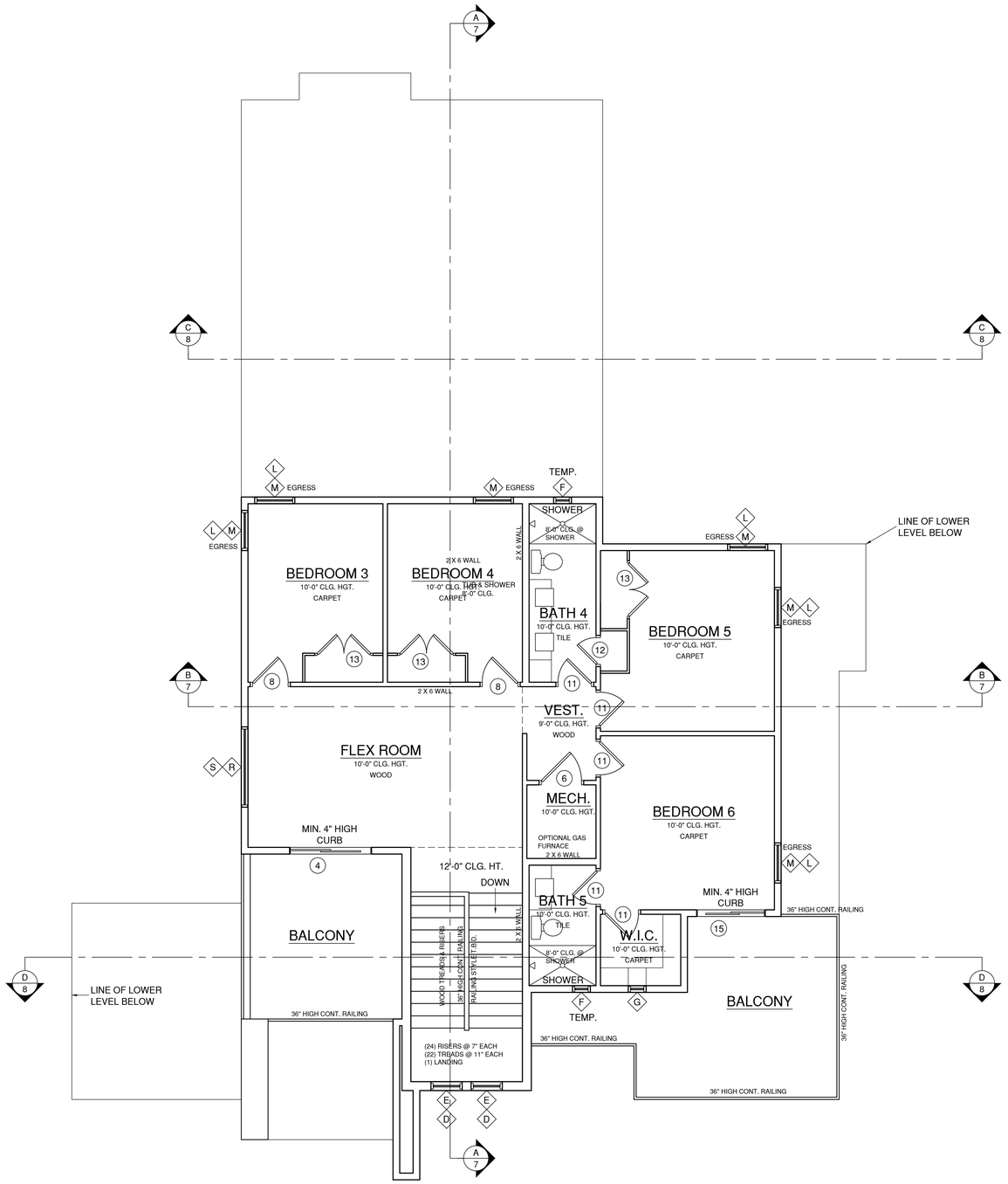
DRAWN BY:

SHEET DESC.:

UPPER LEVEL FLOOR PLAN DIMENSIONED

SHEET

2



UPPER LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE

PGT VINYL LOW E

TAG	WIDTH	HGT.	QTY.	NOTES
A	2'-4"	2'-6"	3	FIXED GLASS
C	3'-0"	6'-0"	2	FIXED GLASS
D	2'-4"	2'-0"	4	FIXED GLASS TRANSOM
E	2'-4"	9'-8"	2	FIXED GLASS
F	1'-4"	3'-0"	3	CASEMENT TEMPERED
G	1'-4"	3'-0"	1	FIXED GLASS
H	2'-6"	6'-0"	1	CASMENT EGRESS
I	2'-0"	6'-0"	3	CASEMENT
J	2'-6"	2'-0"	1	FIXED GLASS TRANSOM
K	2'-0"	2'-0"	3	FIXED GLASS TRANSOM
L	3'-0"	2'-0"	8	FIXED GLASS TRANSOM
M	3'-0"	5'-0"	6	CASMENT EGRESS
N	2'-0"	3'-0"	3	CASEMENT TEMPERED
O	4'-0"	3'-0"	1	FIXED GLASS TEMPERED
P	3'-0"	10'-0"	4	FIXED GLASS HEAD @ 10'-0"
R	6'-0"	5'-0"	1	FIXED GLASS
S	6'-0"	2'-0"	1	FIXED GLASS TRANSOM
T	2'-0"	8'-0"	2	FIXED GLASS SIDE LITE
U	2'-0"	1'-10"	2	FIXED GLASS TRANSOM
V	5'-0"	1'-10"	1	FIXED GLASS TRANSOM

DOOR SCHEDULE

EXTERIOR

TAG	WIDTH	HGT.	QTY.	NOTES
1	5'-0"	8'-0"	1	DOUBLE ENTRY DOOR
2	9'-0"	10'-0"	3	3 PANEL SGD PGT 470 STACK
3	3'-0"	8'-0"	2	SWING DOOR
4	6'-0"	8'-0"	1	(2) PANEL SLIDING GLASS DR.
15	5'-0"	8'-0"	1	(2) PANEL SLIDING GLASS DR.

INTERIOR

TAG	WIDTH	HGT.	QTY.	NOTES
6	3'-0"	8'-0"	5	TO BE SELECTED BY OWNER
7	1'-0"	8'-0"	1	SWING DOOR
8	2'-8"	8'-0"	3	TO BE SELECTED BY OWNER
9	2'-8"	8'-0"	4	POCKET DOOR
10	6'-0"	8'-0"	1	BI-FOLD
11	2'-6"	8'-0"	5	TO BE SELECTED BY OWNER
12	2'-0"	8'-0"	1	TO BE SELECTED BY OWNER
13	4'-0"	8'-0"	4	DOUBLE SWING DOOR

WALL LEGEND

	10'-0" BLOCK WALL
	12'-0" BLOCK WALL
	5'-4" BLOCK WALL
	2X INTERIOR WALL

MAIN LEVEL

A/C:	2214
ENTRY:	84
OUTDOOR LIVING:	656

SECOND LEVEL

A/C:	1350

TOTALS

A/C:	3564
ENTRY:	84
OUTDOOR LIVING:	656
TOTAL UNDER ROOF:	4304
BALCONY:	366

DESIGNER:

PROJECT:

MODENA

PLAN HISTORY

DATE	DESC.:
10-03-16	PLAN SALE
10-06-16	REVISIONS

SHEET DATA:

DESIGNED BY:

DRAWN BY:

SHEET DESC.:

MAIN LEVEL FLOOR PLAN NOTES

SHEET

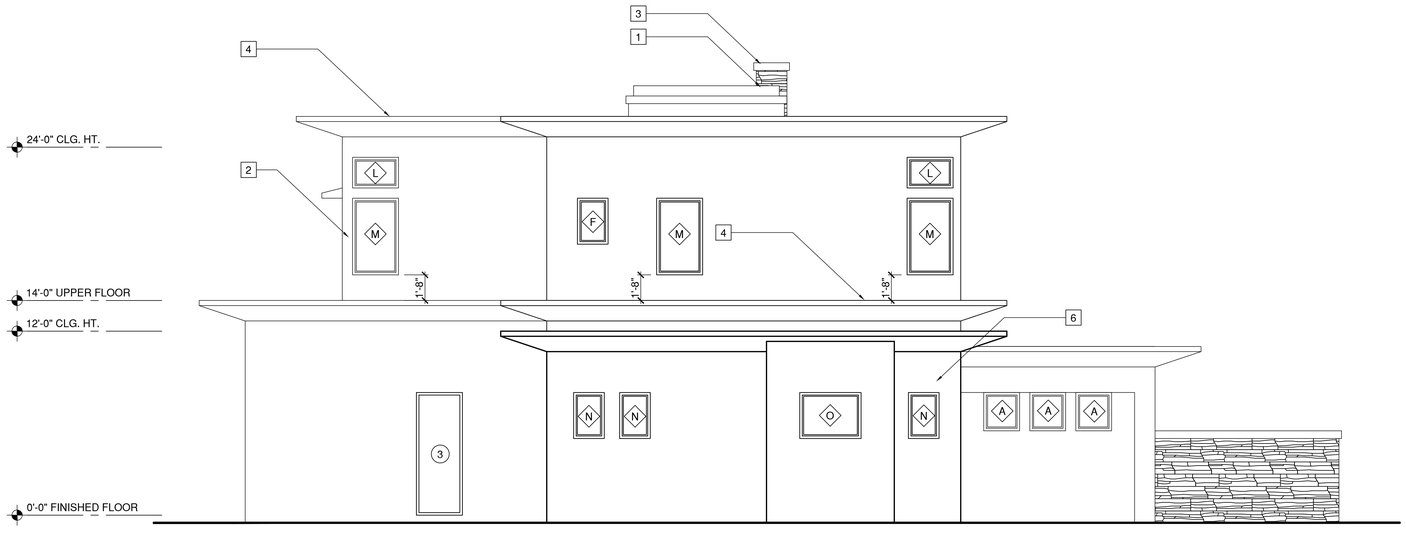
2.1

ELEVATION NOTES:

#	DESCRIPTION
1.	STONE FINISH.
2.	STUCCO FINISH OVER FRAME CONSTRUCTION.
3.	6" STUCCO BAND.
4.	TPO ROOF, OVER APPROVED WATER BARRIER, OVER ROOF SHEATHING.
5.	HORIZONTAL METAL SUN SHADE.
6.	CEMENTITIOUS FINISH OVER CMU CONSTRUCTION.

FRONT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"

DESIGNER:

PROJECT:

MODENA

PLAN HISTORY	
DATE	DESC.:
10-03-16	PLAN SALE
10-08-16	REVISIONS

SHEET DATA:

DESIGNED BY:

DRAWN BY:

SHEET DESC.:

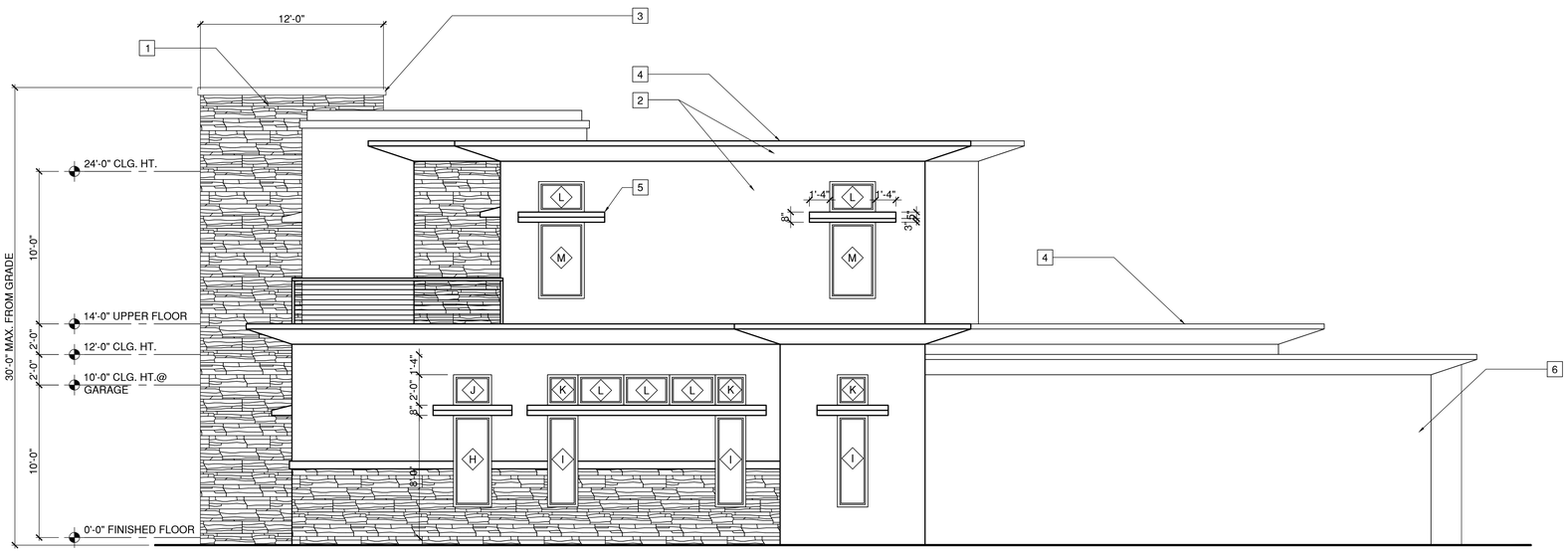
FRONT AND REAR ELEVATIONS

SHEET

3

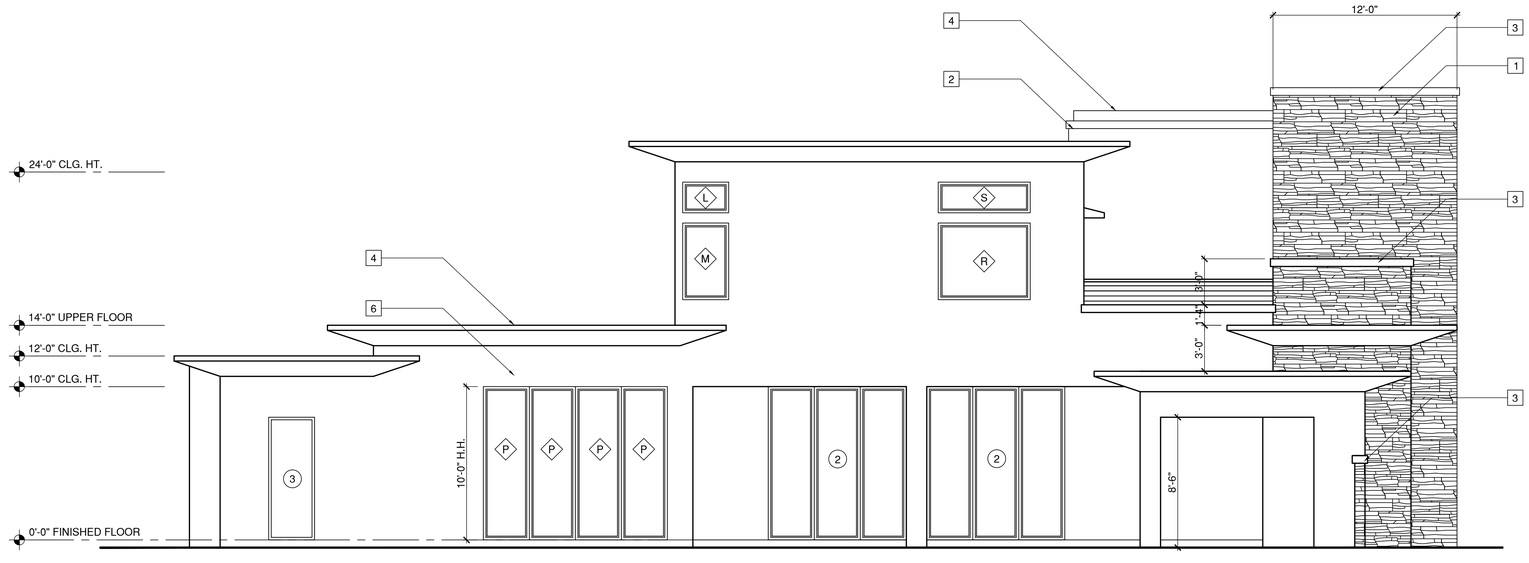
ELEVATION NOTES:

#	DESCRIPTION
1.	STONE FINISH.
2.	STUCCO FINISH OVER FRAME CONSTRUCTION.
3.	6" STUCCO BAND.
4.	TPO ROOF, OVER APPROVED WATER BARRIER, OVER ROOF SHEATHING.
5.	HORIZONTAL METAL SUN SHADE.
6.	CEMENTITIOUS FINISH OVER CMU CONSTRUCTION.



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

DESIGNER:

PROJECT:

MODENA

PLAN HISTORY

DATE	DESC.:
10-03-16	PLAN SALE
10-08-16	REVISIONS

SHEET DATA:

DESIGNED BY:

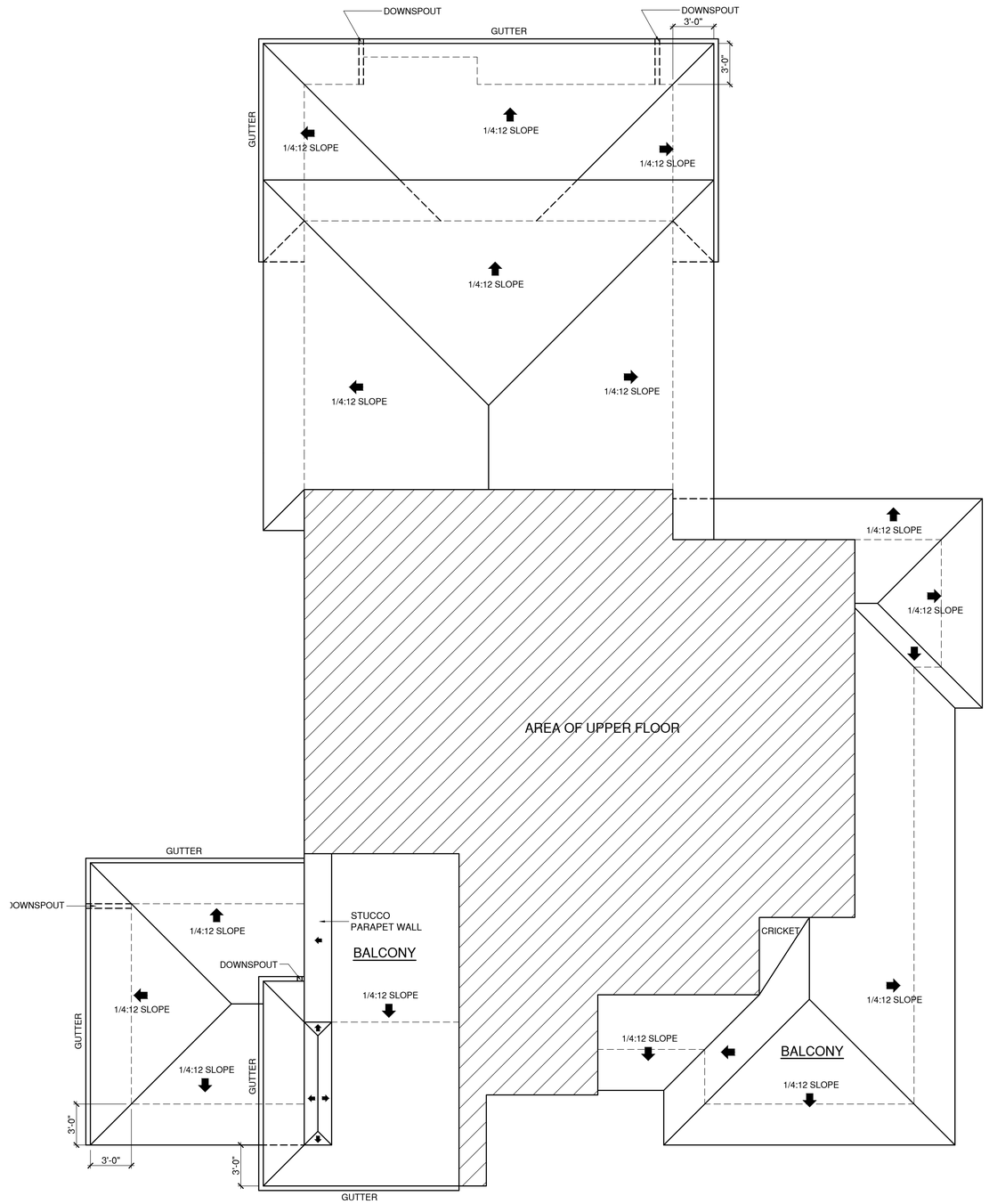
DRAWN BY:

SHEET DESC.:

LEFT AND RIGHT ELEVATIONS

SHEET

4



LOWER ROOF PLAN

SCALE: 1/4" = 1'-0"

NOTE: VERIFY ALL GUTTER AND DOWNSPOUT LOCATIONS WITH OWNER

DESIGNER:

PROJECT:

MODENA

PLAN HISTORY

DATE	DESC.:
10-03-16	PLAN SALE
10-08-16	REVISIONS

SHEET DATA:

DESIGNED BY:

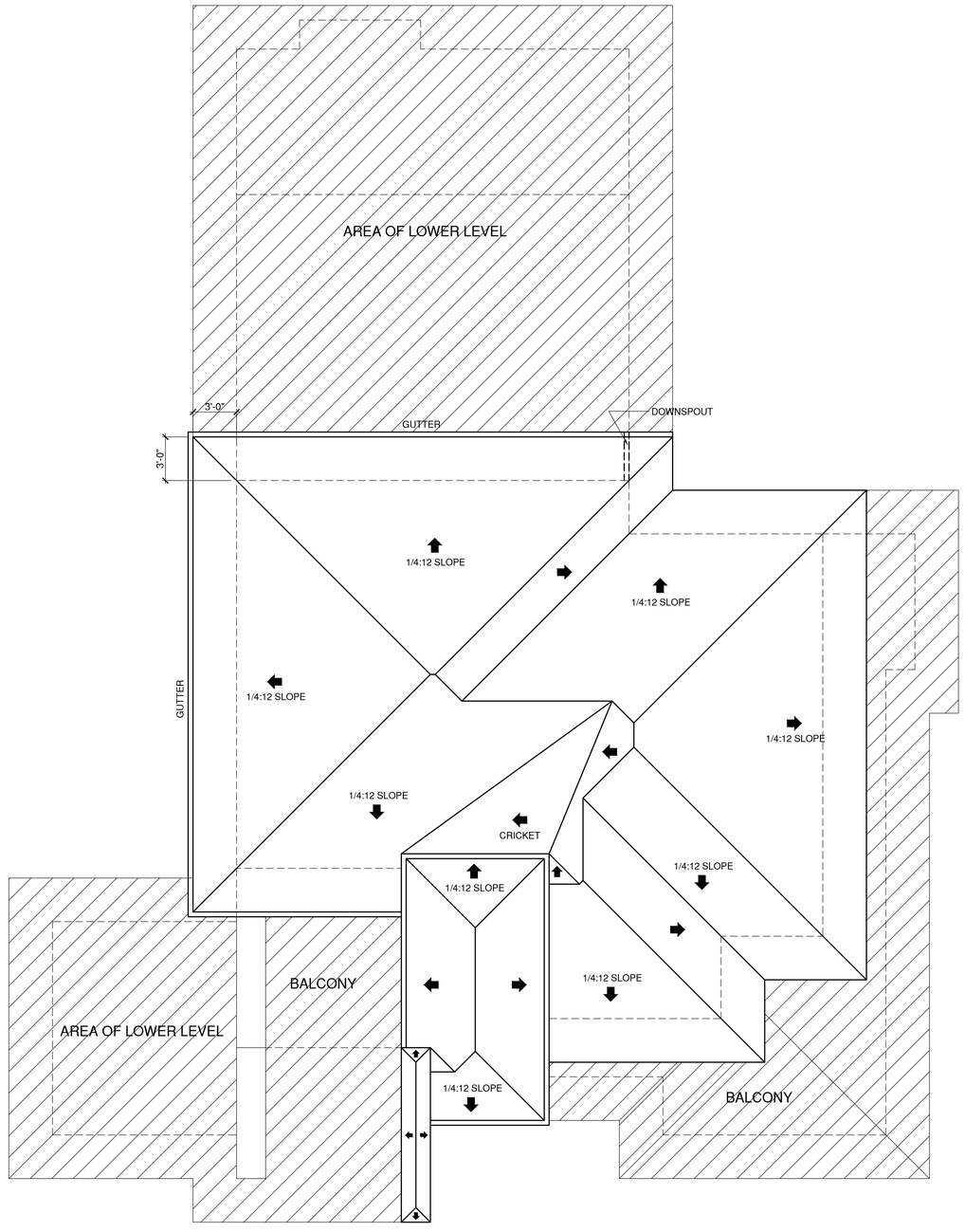
DRAWN BY:

SHEET DESC.:

BIRDSEYE
LOW ROOF

SHEET

5



UPPER ROOF PLAN

SCALE: 1/4" = 1'-0"

NOTE: VERIFY ALL GUTTER AND DOWNSPOUT LOCATIONS WITH OWNER

DESIGNER:

PROJECT:

MODENA

PLAN HISTORY

DATE	DESC.:
10-03-16	PLAN SALE
10-08-16	REVISIONS

SHEET DATA:

DESIGNED BY:

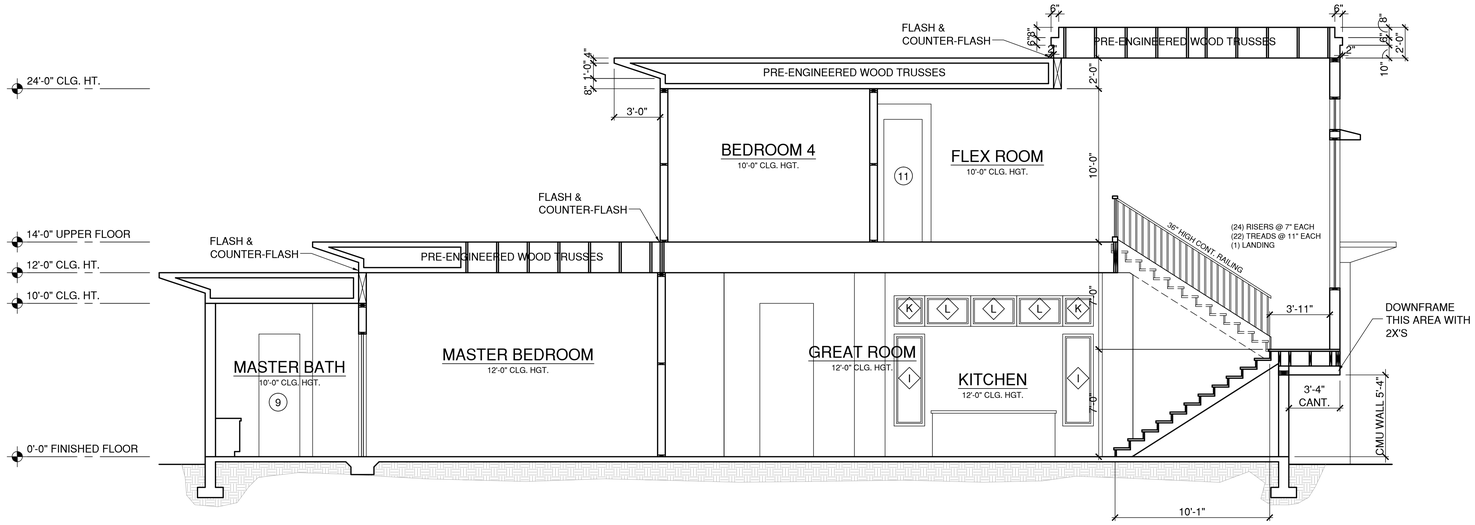
DRAWN BY:

SHEET DESC.:

BIRDSEYE
HIGH ROOF

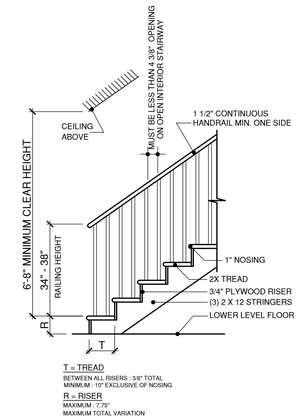
SHEET

6



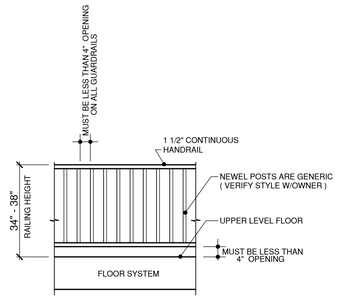
BUILDING SECTION " A "

SCALE: 1/4" = 1'-0"



STAIR / RAILING DETAIL

SCALE: 1/2" = 1'-0"



GUARDRAIL DETAIL

SCALE: 1/2" = 1'-0"

BUILDING SECTION " B "

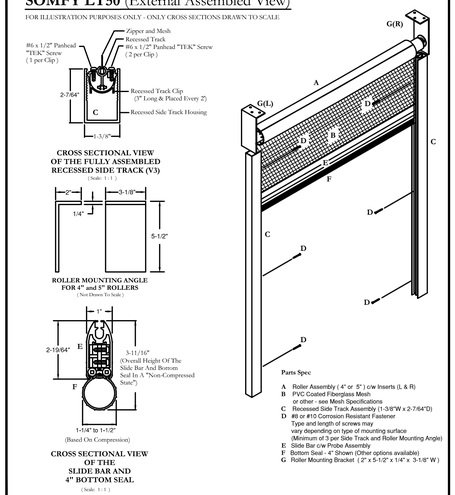
SCALE: 1/4" = 1'-0"

NOT TO SCALE

Executive Design Specifications- System With Recessed Side Track

SOMFY LT50 (External Assembled View)

FOR ILLUSTRATION PURPOSES ONLY - ONLY CROSS SECTIONS DRAWN TO SCALE



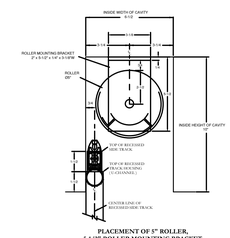
Parts Spec

- **A** Roller Assembly (4" or 5") c/w Inserts (L & R)
- **B** PVC Coated Fiberglass Mesh or other - see Mesh Specifications
- **C** Recessed Side Track Assembly (1-3/8"W x 2-7/64"D)
- **D** #8 or #10 Corrosion Resistant Fastener Type and length of screws may vary depending on type of mounting surface (Minimum of 3 per Side Track and Roller Mounting Angle)
- **E** Slide Bar c/w Protex Assembly
- **F** Bottom Seal - 4" Shown (Other options available)
- **G** Roller Mounting Bracket (2" x 5-1/2" x 1/4" x 3-1/8" W)

All components are color matched except Mesh, Rivets, and Bottom Seal.

NOT TO SCALE

Recessed Roller Placement Details - Minimum Cavity Size for 5" Roller

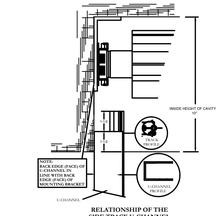


PRODUCT LIMITATION:
SIZE LIMITATION FOR 5 INCH ROLLER IS: 25 FEET (Wide) x 16 FEET (High/Pull Length)

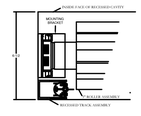
IMPORTANT NOTES:

1. THE DIMENSIONS GIVEN FOR THE CAVITY ARE THE MINIMUM DIMENSIONS FOR 5" ROLLER.
2. UNDER "NO" CIRCUMSTANCES ARE THE INTERIOR DIMENSIONS OF THE CAVITY TO BE MADE SMALLER.
3. THE CAVITY DIMENSIONS SHOWN ARE FOR USE WITH A 1-3/4" OR 4-1/4" BOTTOM SEAL. IF A 4" BOTTOM SEAL USED OR IF THE BOTTOM OF INTO THE CAVITY IS ROUGH INCREASE CAVITY WIDTH BY 1/2".

PLACEMENT OF 5" ROLLER, 5-1/2" ROLLER MOUNTING BRACKET AND RECESSED SIDE TRACK



RELATIONSHIP OF THE SIDE TRACK U-CHANNEL TO THE 5-1/2" MOTOR MOUNTING BRACKET



RELATIONSHIP OF U-CHANNEL TO MOTOR BRACKET IN A MINIMUM RECESSED CAVITY C/W 5" ROLLER

All dimensions are given in inches.

DESIGNER:

PROJECT:

MODENA

PLAN HISTORY	
DATE	DESC.:
10-03-16	PLAN SALE
10-08-16	REVISIONS

SHEET DATA:

DESIGNED BY:

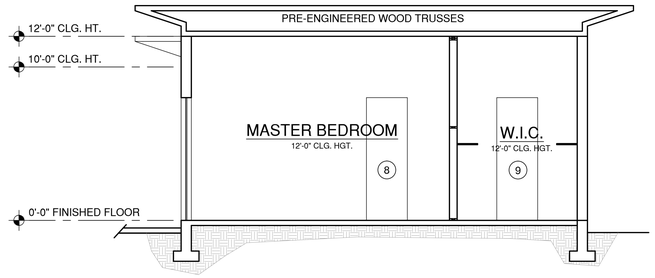
DRAWN BY:

SHEET DESC.:

BUILDING SECTIONS

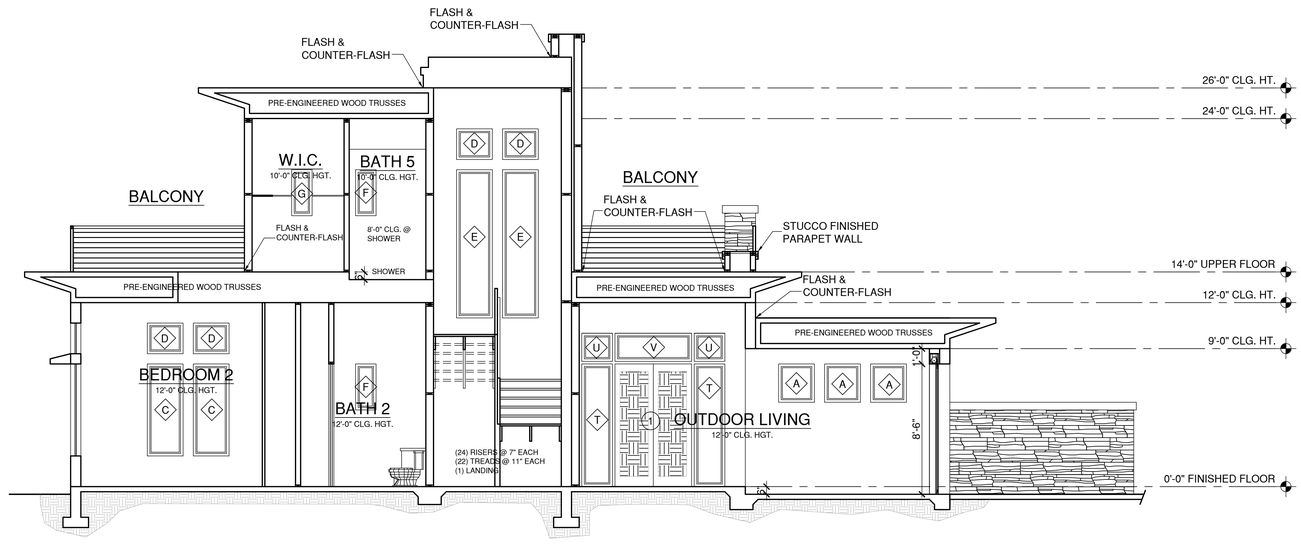
SHEET

7



BUILDING SECTION " C "

SCALE: 1/4" = 1'-0"



BUILDING SECTION " D "

SCALE: 1/4" = 1'-0"

DESIGNER:

PROJECT:

MODENA

PLAN HISTORY

DATE	DESC.:
10-03-16	PLAN SALE
10-08-16	REVISIONS

SHEET DATA:

DESIGNED BY:

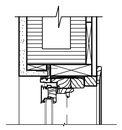
DRAWN BY:

SHEET DESC.:

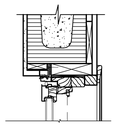
BUILDING SECTIONS

SHEET

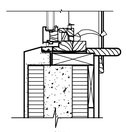
8



SIDE JAMB



HEAD



SILL

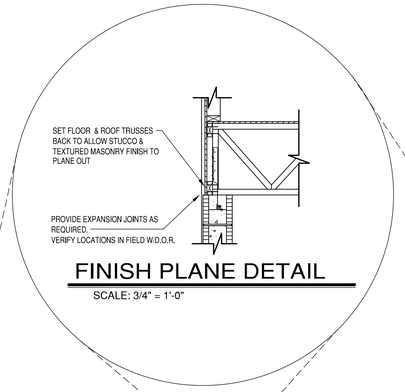
PREPARATION OF WINDOW OPENING :
- INSTALL PRESSURE TREATED WOOD BUCK TO PERIMETER OF OPENING USING TAPCON 3/16" X 3 1/2" OR EQUAL PROVIDING 500 LBS. SHEAR STRENGTH WITHIN 6" FROM CORNERS & 16" ON CENTER.
- APPLY A CONTINUOUS BEAD OF CAULKING TO SEAL WOOD BUCK TO MASONRY OPENINGS.
- ENSURE THAT A CLEARANCE OF 1/4" PER SIDE IS LEFT FOR SHIMMING
- FILL CELLS WITH CONCRETE AND REBAR AS REQUIRED BY LOCAL CODE AND POUR SILL BLOCK SMOOTHLY FOR ATTACHMENT OF SILL BUCK (BY OTHERS).

INSTALLATION OF WINDOW :
- REFER TO INSTALLATION INSTRUCTIONS FOR THE SPECIFIC PRODUCT BEING INSTALLED.
- SET WINDOW IN OPENING, SHIMMING, LEVELING AND SQUARING TO ENSURE PROPER OPERATION.
- INSTALL #8 WAFER HEAD OR S.M.S. 1 1/4" OR WOOD SCREW THROUGH ALL PREDRILLED HOLES IN THE INSTALLATION FIN TO SECURE UNIT.
- ENSURE THAT THE INSTALLATION FIN IS SEALED TO THE WOOD 2 X BUCK WITH A CONTINUOUS BEAD OF CAULKING.
- FILL VOID BETWEEN WINDOW AND BUCK WITH INSULATION BEING CAREFUL NOT TO BOW THE FRAME (BY OTHERS).
- WATER PROTECT FINS AND MASONRY WITH NP1 OR EQUAL, COVERING FROM ALUMINUM CLAD TO MASONRY.
- WATERPROTECT MASONRY SILL AND UP SIDES 8" WITH SELF LEVELING URETHANE.
- LEAVE 1/4" GAP BETWEEN EXTERIER OF WINDOW AND FINISH MATERIALS FOR CAULK JOINT TO ALLOW FOR MATERIALS EXPANSION.

WINDOW DETAIL

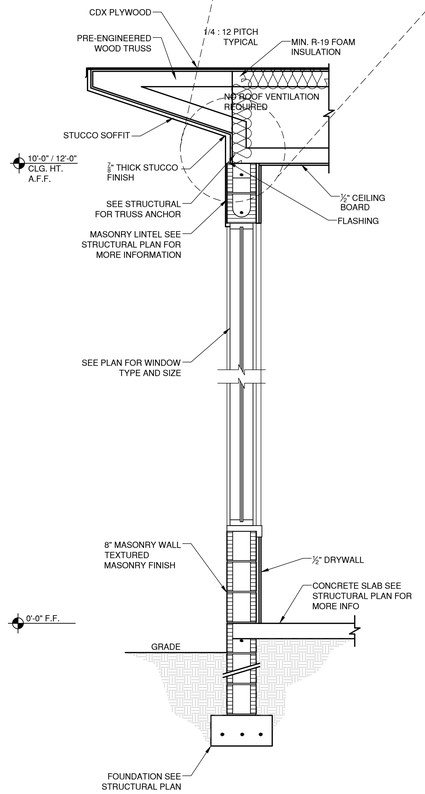
COMPOSITE FRAME WINDOW

N.T.S.



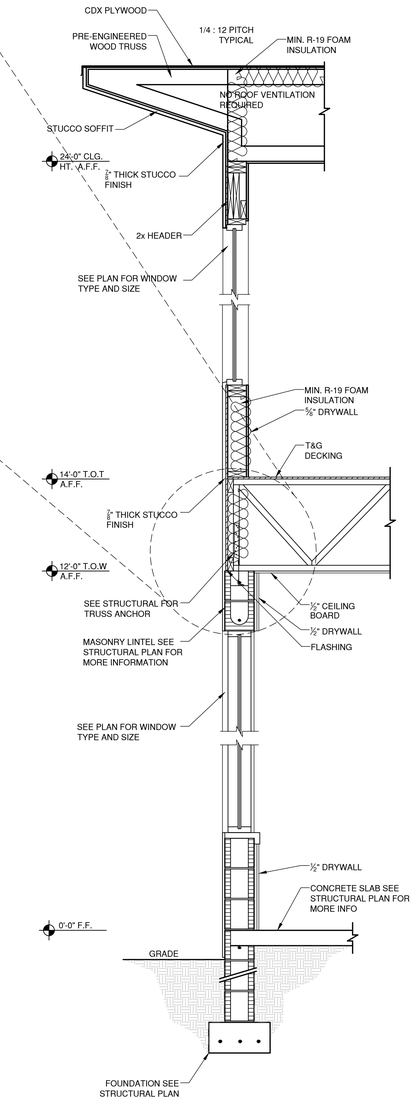
FINISH PLANE DETAIL

SCALE: 3/4" = 1'-0"



TYPICAL SINGLE STORY WALL SECTION

SCALE: 3/4" = 1'-0"



TYPICAL 2 STORY CMU / FRAME WALL SECTION

SCALE: 3/4" = 1'-0"

DESIGNER:

PROJECT:

MODENA

PLAN HISTORY

DATE	DESC.:
10-03-16	PLAN SALE
10-08-16	REVISIONS

SHEET DATA:

DESIGNED BY:

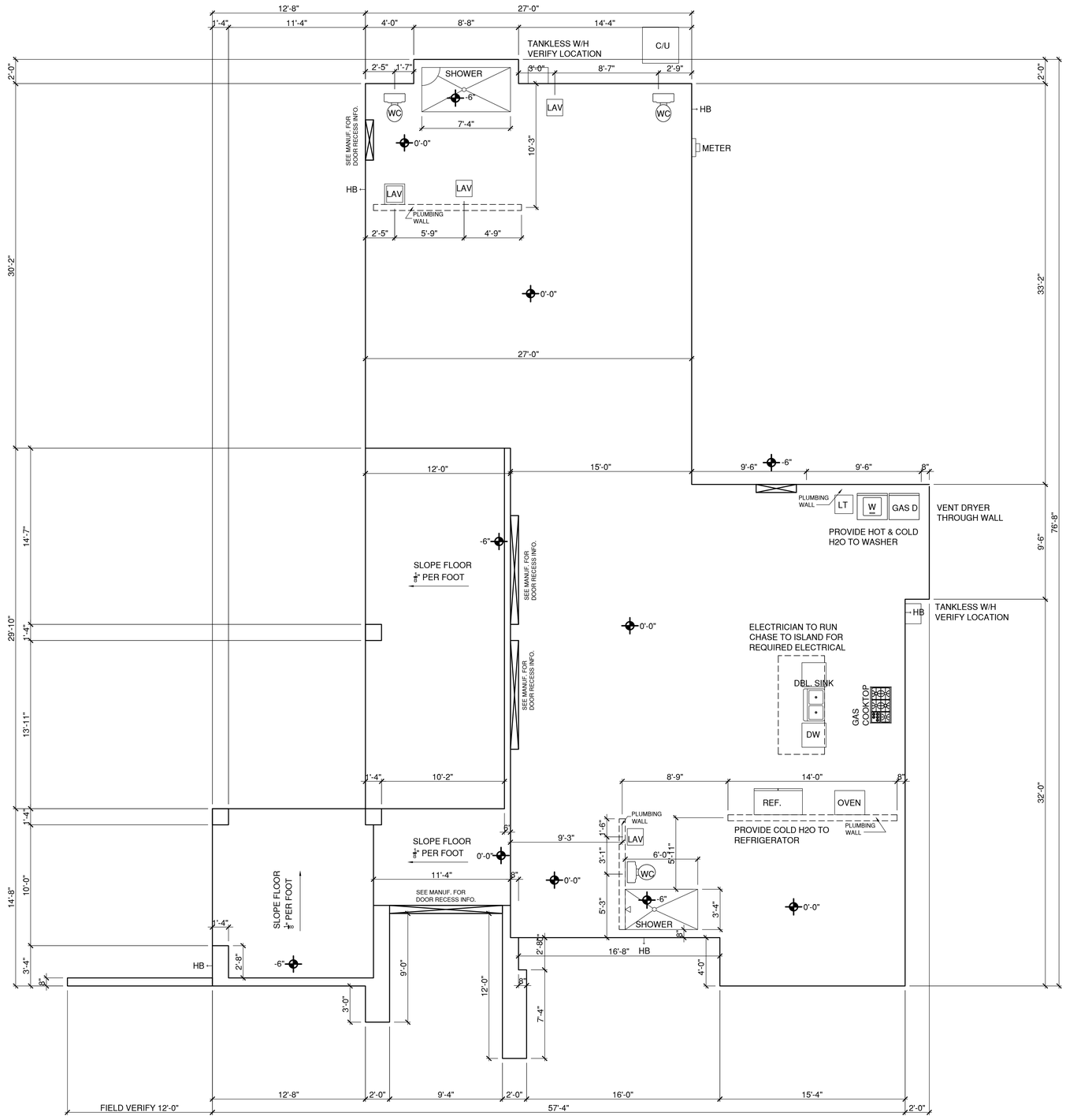
DRAWN BY:

SHEET DESC.:

WALL SECTIONS

SHEET

9



PLUMBING/SLAB PLAN

SCALE: 1/4" = 1'-0"

DESIGNER:

PROJECT:

MODENA

PLAN HISTORY

DATE	DESC.:
10-03-16	PLAN SALE
10-06-16	REVISIONS

SHEET DATA:

DESIGNED BY:

DRAWN BY:

SHEET DESC.:

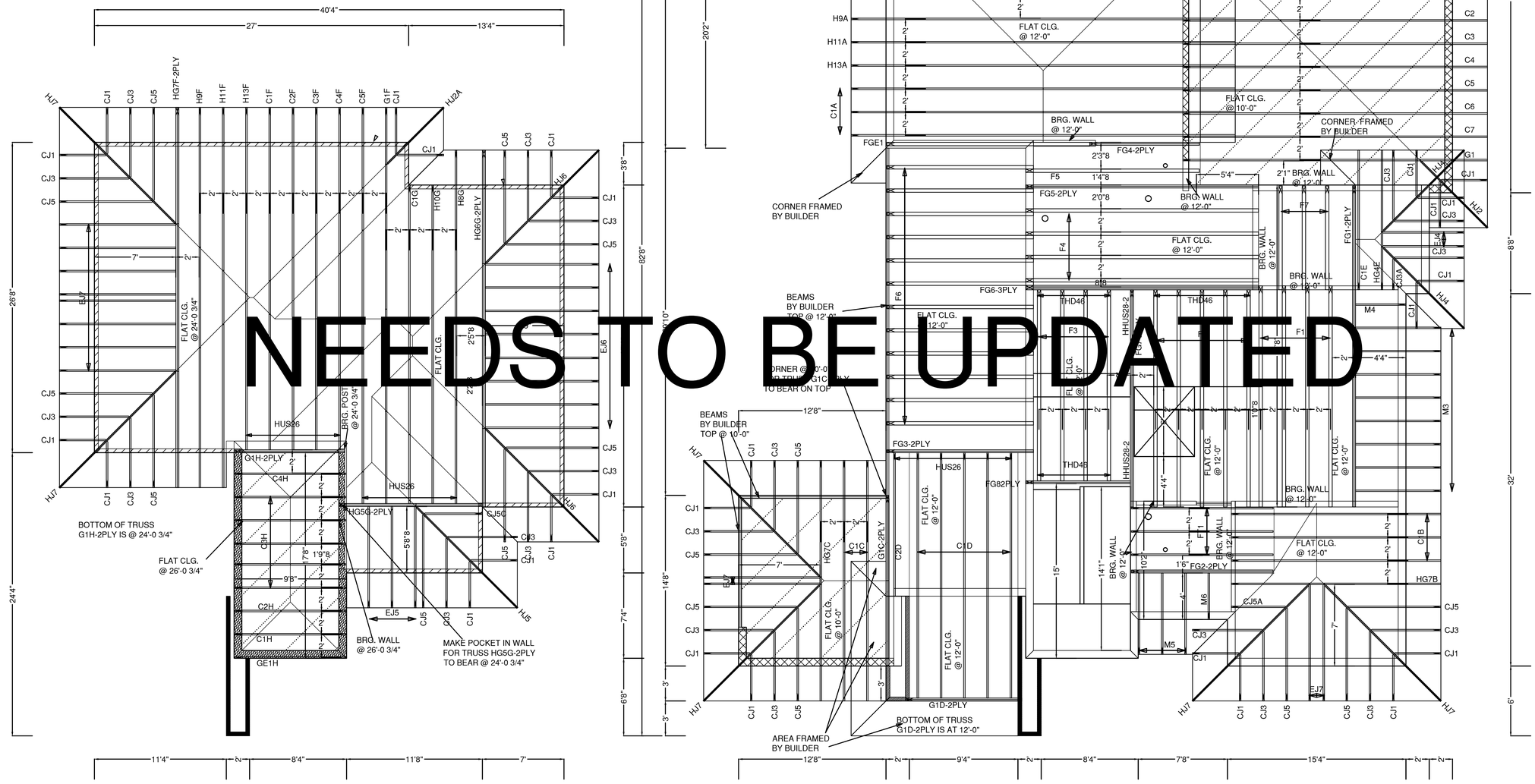
PLUMBING AND SLAB PLAN

SHEET

10

DUE TO THE 0.25/12 PITCH
THE PEAK HEIGHT IS @ 12'-5"
BUILDER TO VERIFY PRIOR TO PRODUCTION.

BRG. WALL @ 10'-0"
FRAMED UP TO 12'-0"
BY BUILDER



DESIGNER:

PROJECT:

MODENA

PLAN HISTORY

DATE	DESC.:
10-03-16	PLAN SALE
10-05-16	REVISIONS

SHEET DATA:

DESIGNED BY:

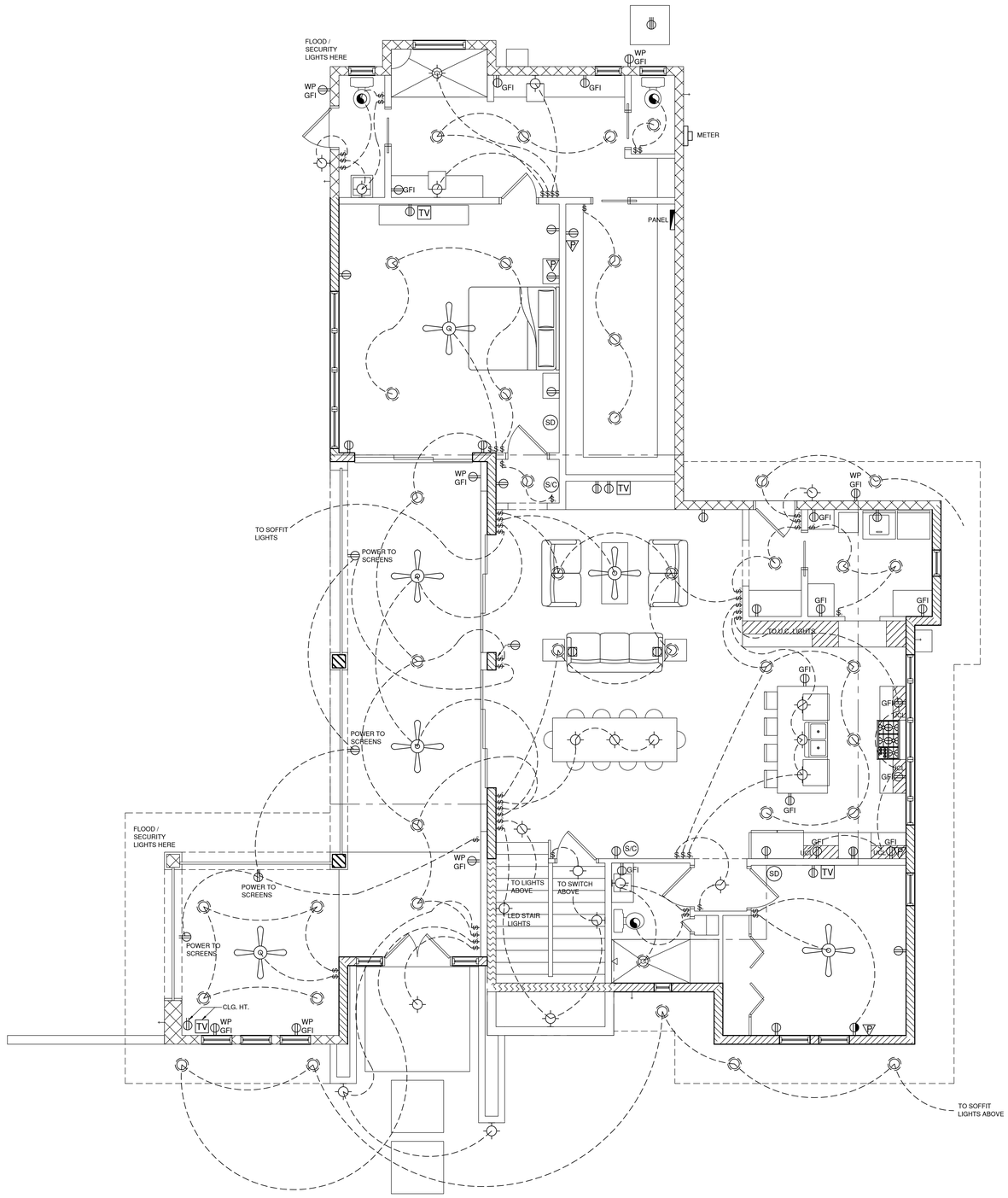
DRAWN BY:

SHEET DESC.:

TRUSS LAYOUTS

SHEET

11



ELECTRICAL NOTES

1. UNLESS OTHERWISE SPECIFICALLY STATED HEREIN, THE ELECTRICAL PLAN(S) ARE ONLY FOR GENERAL DESIGN INTENT AND HAVE BEEN COMPILED TO MEET PERMIT REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION. ACTUAL QUANTITY, TYPE, AND PLACEMENT OF OUTLETS, SWITCHES, FIXTURES, AND ALL OTHER RELATED ELECTRICAL EQUIPMENT SHALL BE DETERMINED BY THE CONTRACTOR AND OWNER. INSTALLATION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES.
2. CONTRACTOR SHALL VERIFY WITH POWER COMPANY THE LOCATION OF SERVICE AND SHALL LOCATE METER AND PANEL AS REQUIRED.
3. ALL WIRES SHALL BE THW COPPER, UNLESS NOTED OTHERWISE.
4. WHERE REQUIRED BY OTHER CODES, SERVICE AND FEEDER CONDUCTORS SHALL BE COPPER OF EQUAL AMPACITY.
5. ALL BRANCH CIRCUITS IN RACEWAY OR NON-METALLIC SHEATHED CABLE.
6. COORDINATE RACEWAY INSTALLATIONS WITH OTHER TRADES PRIOR TO CONSTRUCTION.
7. VERIFY ALL CONDUCTORS AND BREAKERS WITH EQUIPMENT MANUFACTURERS SPECIFICATIONS.
8. PROVIDE DISCONNECT SWITCH SIZE AS REQUIRED BY LOAD AND UNITS.
9. PROVIDE NON-FUSIBLE GENERAL DUTY SAFETY SWITCHES AT A/C EQUIPMENT, AND AT PUMPS NOT VISIBLE FROM CIRCUIT BREAKER PANEL AND AS PER MANUFACTURER'S RECOMMENDATIONS.
10. PROVIDE GROUND FAULT INTERRUPT (GFI) BREAKERS FOR ALL BATHROOM, GARAGE AND EXTERIOR OUTLETS AS SHOWN.
11. ELECTRICAL FIXTURES, TRIM AND APPLIANCES SHALL BE 'UL' APPROVED AND SELECTED BY OWNER.
12. PROVIDE PRE-WIRED TELEPHONE AND TELEVISION (CABLE TV) OUTLETS.
13. WIRE KITCHEN AND FAMILY ROOM SEPARATELY.
14. ELECTRICAL SERVICE SIZE SHALL BE DESIGNED BY THE ELECTRICAL CONTRACTOR. THIS PLAN SHALL BE USED AS A GUIDE. POWER REQUIREMENTS SHALL BE DETERMINED BY TOTAL LOAD OF THE HOUSE.
15. PROVIDE AFCIs (ARC FAULT INTERRUPTERS) IN ALL DWELLING UNIT BEDROOMS PER NEC.

ELECTRICAL LEGEND

SYMBOL	NOTE
	110v OUTLET
	110v OUTLET, SWITCHED
	220v OUTLET
	FLOOR OUTLET
$	SWITCH
	CEILING MOUNTED LIGHT
	WALL MOUNTED LIGHT
	LIGHT/FAN COMBO UNIT
	BATH FAN
	RECESSED LED CAN LIGHT 2700 K
	FLUORESCENT LIGHT
SD	SMOKE DETECTOR
S/C	COMBO SMOKE/CARBON MONOXIDE DETECTOR
TV	TV OUTLET
	PHONE JACK
	ELECTRICAL PANEL
	ELECTRICAL METER
	FAN
	CEILING FAN & LIGHT COMBO

ELECTRICAL PLAN IS INTENDED FOR BID PURPOSES ONLY. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRIC CODE, LATEST EDITION, BY A LICENSED ELECTRICAL CONTRACTOR WHO SHALL BE RESPONSIBLE FOR THE INSTALLATION & SIZING OF ALL ELECTRICAL, WIRING & ACCESSORIES.

DESIGNER:

PROJECT:

MODENA

PLAN HISTORY

DATE	DESC.:
10-03-16	PLAN SALE
10-06-16	REVISIONS

SHEET DATA:

DESIGNED BY:

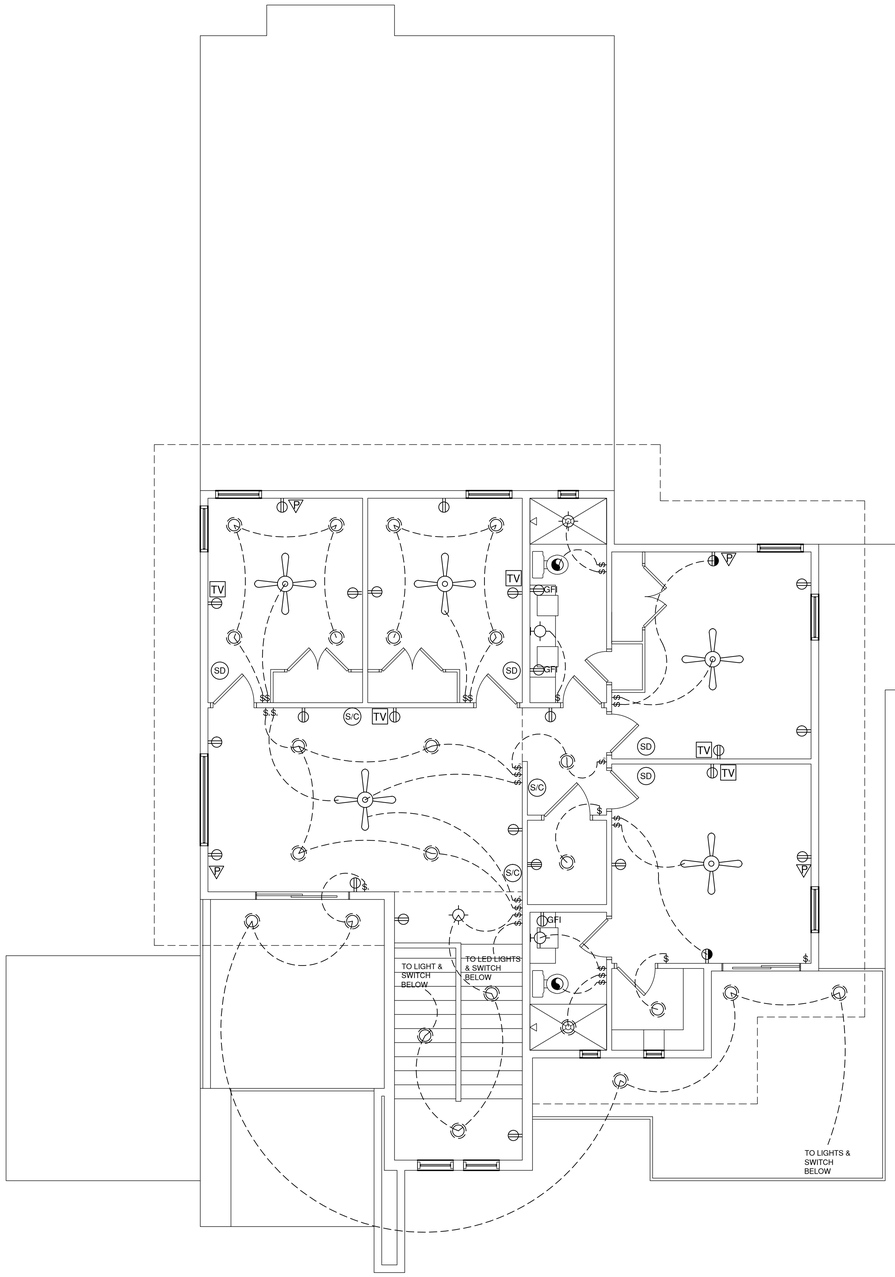
DRAWN BY:

SHEET DESC.:

MAIN LEVEL ELECTRICAL PLAN

SHEET

E.1



ELECTRICAL NOTES

1. UNLESS OTHERWISE SPECIFICALLY STATED HEREIN, THE ELECTRICAL PLAN(S) ARE ONLY FOR GENERAL DESIGN INTENT AND HAVE BEEN COMPILED TO MEET PERMIT REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION. ACTUAL QUANTITY, TYPE, AND PLACEMENT OF OUTLETS, SWITCHES, FIXTURES, AND ALL OTHER RELATED ELECTRICAL EQUIPMENT SHALL BE DETERMINED BY THE CONTRACTOR AND OWNER. INSTALLATION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES.
2. CONTRACTOR SHALL VERIFY WITH POWER COMPANY THE LOCATION OF SERVICE AND SHALL LOCATE METER AND PANEL AS REQUIRED.
3. ALL WIRES SHALL BE THW COPPER, UNLESS NOTED OTHERWISE.
4. WHERE REQUIRED BY OTHER CODES, SERVICE AND FEEDER CONDUCTORS SHALL BE COPPER OF EQUAL AMPACITY.
5. ALL BRANCH CIRCUITS IN RACEWAY OR NON-METALLIC SHEATHED CABLE.
6. COORDINATE RACEWAY INSTALLATIONS WITH OTHER TRADES PRIOR TO CONSTRUCTION.
7. VERIFY ALL CONDUCTORS AND BREAKERS WITH EQUIPMENT MANUFACTURERS SPECIFICATIONS.
8. PROVIDE DISCONNECT SWITCH SIZE AS REQUIRED BY LOAD AND UNITS.
9. PROVIDE NON-FUSIBLE GENERAL DUTY SAFETY SWITCHES AT A/C EQUIPMENT, AND AT PUMPS NOT VISIBLE FROM CIRCUIT BREAKER PANEL AND AS PER MANUFACTURER'S RECOMMENDATIONS.
10. PROVIDE GROUND FAULT INTERRUPT (GFI) BREAKERS FOR ALL BATHROOM, GARAGE AND EXTERIOR OUTLETS AS SHOWN.
11. ELECTRICAL FIXTURES, TRIM AND APPLIANCES SHALL BE 'UL' APPROVED AND SELECTED BY OWNER.
12. PROVIDE PRE-WIRED TELEPHONE AND TELEVISION (CABLE TV) OUTLETS.
13. WIRE KITCHEN AND FAMILY ROOM SEPARATELY.
14. ELECTRICAL SERVICE SIZE SHALL BE DESIGNED BY THE ELECTRICAL CONTRACTOR. THIS PLAN SHALL BE USED AS A GUIDE, POWER REQUIREMENTS SHALL BE DETERMINED BY TOTAL LOAD OF THE HOUSE.
15. PROVIDE AFCIs (ARC FAULT INTERRUPTERS) IN ALL DWELLING UNIT BEDROOMS PER NEC.

ELECTRICAL LEGEND

SYMBOL	NOTE
	110v OUTLET
	110v OUTLET, SWITCHED
	220v OUTLET
	FLOOR OUTLET
$	SWITCH
	CEILING MOUNTED LIGHT
	WALL MOUNTED LIGHT
	LIGHT/FAN COMBO UNIT
	BATH FAN
	RECESSED LED CAN LIGHT 2700 K
	FLUORESCENT LIGHT
SD	SMOKE DETECTOR
S/C	COMBO SMOKE/CARBON MONOXIDE DETECTOR
TV	TV OUTLET
P	PHONE JACK
	ELECTRICAL PANEL
	ELECTRICAL METER
	FAN
	CEILING FAN & LIGHT COMBO

ELECTRICAL PLAN IS INTENDED FOR BID PURPOSES ONLY. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRIC CODE, LATEST EDITION, BY A LICENSED ELECTRICAL CONTRACTOR WHO SHALL BE RESPONSIBLE FOR THE INSTALLATION & SIZING OF ALL ELECTRICAL, WIRING & ACCESSORIES.

DESIGNER:

PROJECT:

MODENA

PLAN HISTORY

DATE	DESC.:
10-03-16	PLAN SALE
10-08-16	REVISIONS

SHEET DATA:

DESIGNED BY:

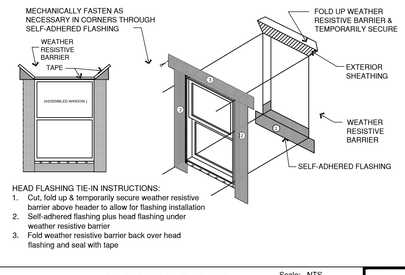
DRAWN BY:

SHEET DESC.:

UPPER LEVEL ELECTRICAL PLAN

SHEET

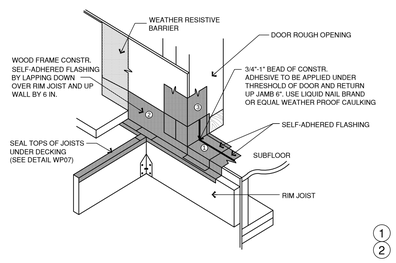
E.2



Scale: NTS

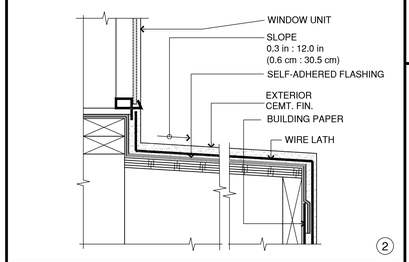
SELF-ADHERED FLASHING
FLANGED WINDOW
FLASHING INSTALLATION AFTER WEATHER RESISTIVE BARRIER

WP01



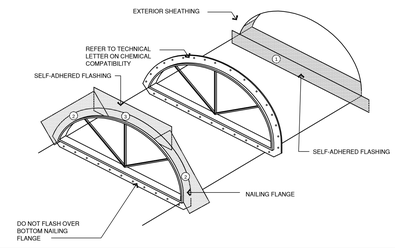
SELF-ADHERED FLASHING
EXTERIOR DOOR WITH DECK - SECTION A

WP02



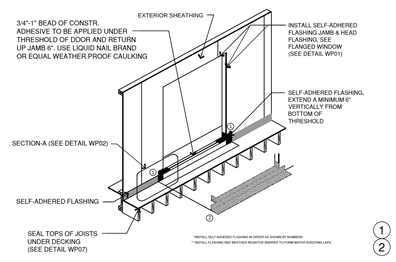
SELF-ADHERED FLASHING
CEMT. FINISH SILL/ POTSHELF/ CHIMNEY SHOULDER

WP03



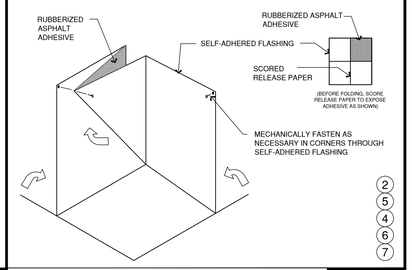
SELF-ADHERED FLASHING
HALF ROUND WINDOW

WP04



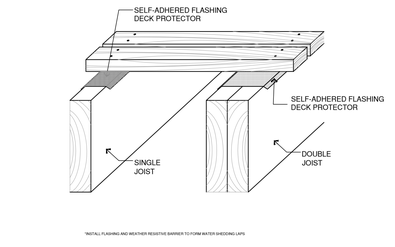
SELF-ADHERED FLASHING
EXTERIOR DOOR WITH DECK

WP05



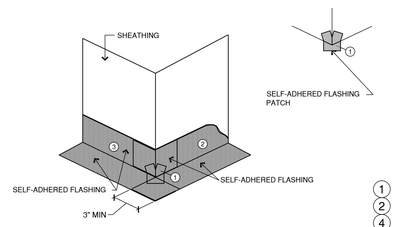
SELF-ADHERED FLASHING
INSIDE CORNER

WP06



SELF-ADHERED FLASHING
DECK JOIST

WP07

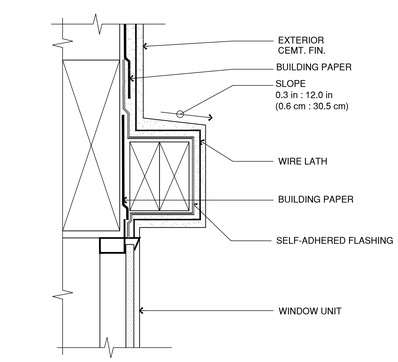


SELF-ADHERED FLASHING
OUTSIDE CORNER

WP08

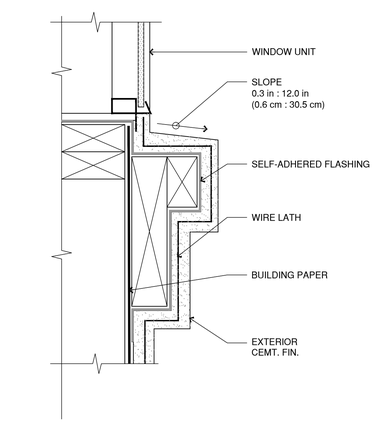
NOT USED

WP09



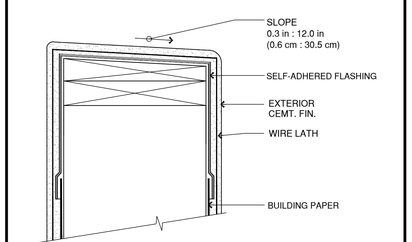
SELF-ADHERED FLASHING
CEMT. FINISH WINDOW HEAD

WP10



SELF-ADHERED FLASHING
CEMT. FINISH WINDOW SILL

WP11



SELF-ADHERED FLASHING
CEMT. FINISH PARAPET WALL

WP12

THESE DETAILS ARE GENERIC AND MEANT TO SHOW GENERAL FLASHING AND WATERPROOFING METHODS TO BE USED. CONTRACTOR IS TO USE APPROPRIATE TECHNIQUES FOR LOCAL BUILDING PRACTICES AND CLIMATE.

SELF-ADHERED FLASHING PRODUCTS DETAILS

TWO LAYERS OF FELT OR ONE LAYER OF HOUSE WRAP AND ONE LAYER OF FELT ARE REQUIRED BEHIND STUCCO. FBC R703.2.1

Detail Instructions

Refer to the number marked as (#) in each detail that corresponds to the numbered items in the list of instructions below:

1. Install self-adhered flashing in order as shown by numbers
2. Install flashing and weather resistive barrier to form water shedding laps
3. Self-adhered flashing can be substituted for building paper
4. Split the release paper using the ripcord (Split release on demand, embedded in the adhesive layer) - for ease of installation and to minimize scoring cuts
5. Remove all release paper per standard installation instructions and adhere to substrate using a square piece of flashing material (6" x 6" Minimum)
6. Fold as shown by arrows
7. Angle of corner may vary, adjust folding of the flashing accordingly to fit tight to corner
8. Mechanically fasten as necessary

FLASHING REQUIREMENTS

R703.2 Weather-resistant sheathing paper. One layer of No. 15 asphalt felt, free from holes and breaks, comply with ASTM D 226 for Type 1 felt or other approved water-resistive barrier shall be applied over studs or sheathing of all exterior walls. Such felt or material shall be applied horizontally, with the upper layer lapped over the lower layer not less than 2 inched (51 mm). Where joints occur, felt shall be lapped not less than 6 inches (152 mm). The felt or other approved material shall be continuous to the top of walls and terminated at penetrations and building appendages in a manner to meet the requirements of the exterior wall envelope as described in Section R703.1.

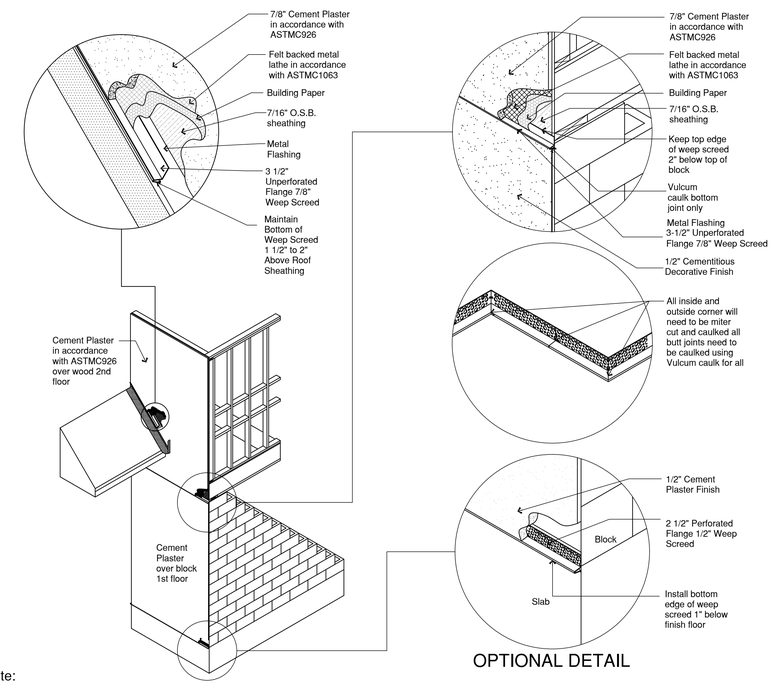
Exception: Omission of the water-resistive barrier is permitted in the following situations:

1. In detached accessory buildings.
2. Under wall finish materials as permitted in Table R703.4.

R703.8 Flashing. Approved corrosion-resistant flashing shall be applied shingle-fashion in a manner to prevent entry of water into the wall cavity or penetration of water to the building structural framing components. Self-adhered membranes used as flashing shall comply with AAMA 711. The flashing shall extend to the surface of the exterior wall finish. Approved corrosion-restant flashing shall be installed at all of the following locations:

1. Exterior window and door openings. Flashing at exterior window and door openings shall extend to the surface of the exterior wall finish or to the water-resisstive barrier for subsequent drainage. Flashing at exterior window and door openings shall be installed in accordance with one or more of the following or other approved method:
   - 1.1 The fenestration manufacturer's written flashing instructions.
   - 1.2 The flashing manufacturer's written installation instructions.
   - 1.3 In accordance with FMA/AAMA 100, FMA/AAMA 200, or FMA/AAMA 250.
   - 1.4 In accordance with the flashing method of a registered design professional.
2. At the intersection of chimneys or other masonry construction with frame or stucco walls, with projecting lips on both sides under stucco copings.
3. Under and at the ends of masonry, wood or metal copings and sills.
4. Continuously above all projecting wood trim.
5. Where exterior porches, decks or stairs attach to a wall or floor assembly of wood-frame construction.
6. At wall and roof intersections.
7. At built-in gutters.

R703.15 Drained assembly wall over mass assembly wall. Where wood frame or other types of drained wall assemblies are constructed above mass wall assemblies, flashing or other approved drainage system shall be installed as required by R703.8.



OPTIONAL DETAIL

Note:
The building paper and metal lath must be installed over the top of the weep screed.

WEEP SCREED DETAIL
SCALE: NOT TO SCALE

DESIGNER:

PROJECT:

MODENA

PLAN HISTORY

DATE	DESC.:
10-03-16	PLAN SALE
10-08-16	REVISIONS

SHEET DATA:

DESIGNED BY:

DRAWN BY:

SHEET DESC.:

WATERPROOFING DETAILS

SHEET

WP